

GENERAL

The contractor shall check and verify all dimensions, levels and angles on site prior to commencing any work. Dimensions must not be scale measured from drawings.

Surveyor to confirm and setout all boundary walls and/or fences.

Surveyor to confirm and setout all construction where height in relation to boundary levels are critical. Surveyor to confirm compliance at roof framing stage.

Provide domestic smoke alarms as per NZS.

Provide smooth impervious surfaces to all wet areas including bathroom, ensuite, laundry and kitchen.

Provide safety 'A' glazing to all ensuite and bathroom windows.

Provide mechanical extract ventilation to bathrooms, laundry and kitchen hob.

Walls to wet areas lined internally with 10mm GIB Aqualine, stopped for paint finish or tiles if specified.

Shower walls lined with 9mm James Hardie Villaboard.

Service route locations are indicative only. Contractor shall determine exact locations on site prior to commencing work.

All plumbing and drainage work shall comply with NZBC The Acceptable Solution G13/AS1 Sanitary plumbing.

Connect all fixture discharge pipes without trap vents generally according to table 8.2.

Provide draincoils to all retaining walls and foundations as required. Subsoil drains to discharge via a silt traps to storm water drainage system.

Ensure all Cess pits located at low points with positive falls towards them.

Ensure all Gully traps achieve minimum 100mm clearance to finished ground level.

Ensure all plumbing pipes and wastes are concealed within walls. Backflow prevention to be provided in accordance with NZ Building Code.

MISC

- RL 00.00 Reduced level
- FFL 59.80 Finished floor level
- D01 Door number
- W01 Window number
- SD Domestic smoke alarm as per NZS.
- Mechanical extract ventilation to bathrooms and kitchen hob.
- Gas meter board
- Meter board
- Switch board

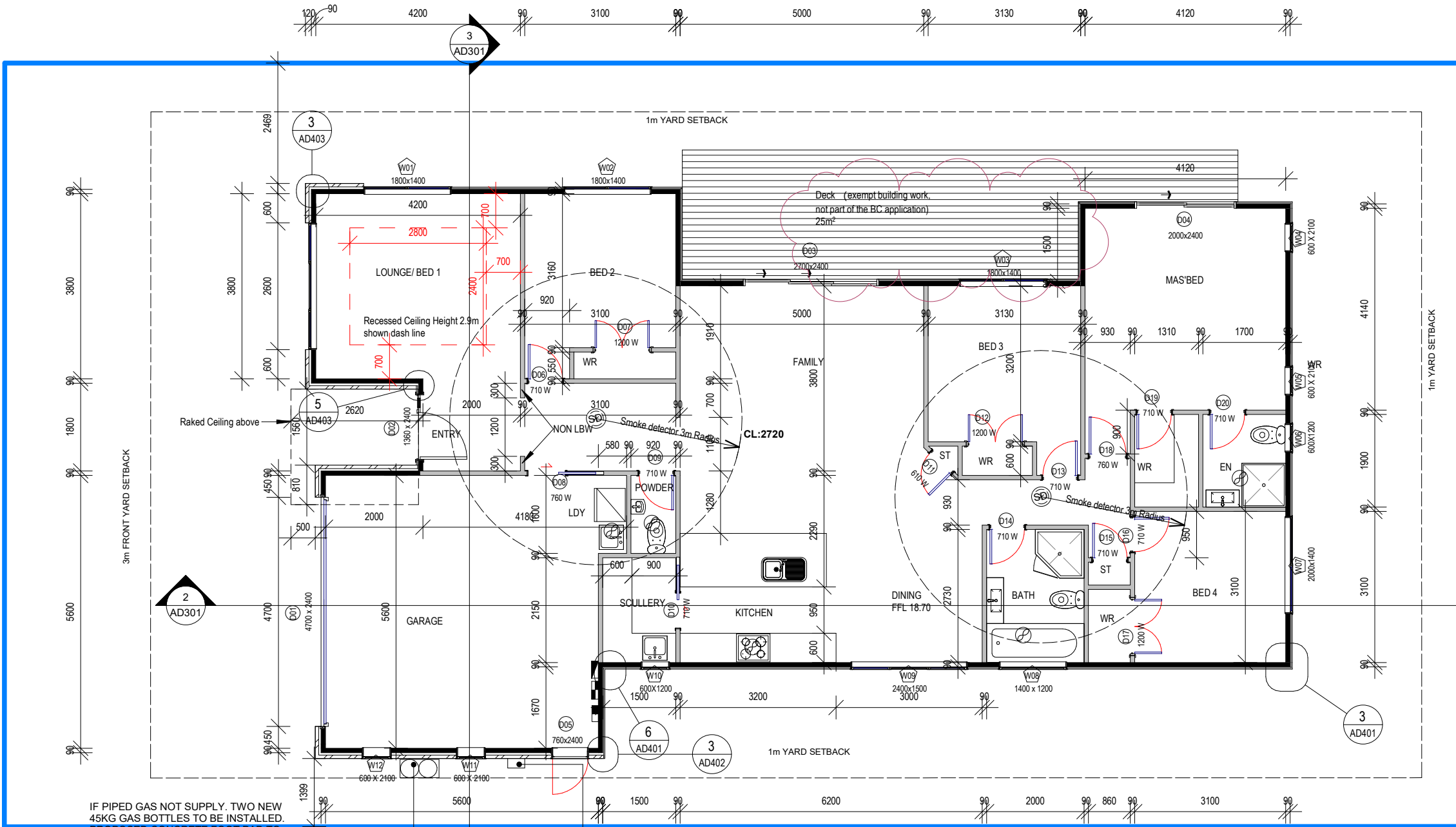
Downlight CA rated downlight shall be used to comply with C7.4

WALL(W)

- W01 INTERNAL TIMBER FRAMED WALL.**
90x45mm/140x45mm - Grade SG8 - H1.2 treated timber framed internal wall with studs as per framing table, and nogs at 800 crs. to comply with NZS3604, 2011. Line both sides with 10mm GIB standard stopped to level 4 for selected paint finish. In wet areas line walls with 10mm GIB Aqualine.
- W02 EXTERNAL TIMBER FRAMED WALL. BEVEL BACK WEATHERBOARD - CAVITY BATTEN.**
90x45mm - Grade SG8 - H1.2 treated timber framed external wall with studs at 400 crs. and nogs at 800 crs. to NZS3604, 2011. Clad exterior NIAGARA bevelback pine clears weatherboards over Thermakraft COVERTEK 403 building wrap or similar over timber cavity batten. Line internal walls with 10mm GIB standard stopped to level 4 for selected paint finish.
- W03 JAMES HARDIE OBLIQUE VERTICAL CLADDING**
90x45mm - Grade SG8 - H1.2 treated timber framed external wall with studs at 400 crs. and nogs at 480 crs. / topplate fix type B; 2/90x3.15 end nails + 2 wire dogs to NZS 3604, 2011. Clad exterior with JAMES HARDIE OBLIQUE WB over building wrap over timber cavity batten. Line internal walls with 10mm GIB standard stopped to level 4 for selected paint finish.
- W04 EXTERNAL TIMBER FRAMED WALL BRICK VENEER.**
90x45mm - Grade SG8 - H1.2 treated timber framed external wall with studs @ 400 crs. to NZS 3604, 2011. Clad exterior with brick veneer cladding, over Thermakraft COVERTEK 403 UPbuilding wrap. Bricks to sit on concrete foundation. Line internal walls with 10mm GIB standard stopped to level 4 for selected paint finish. Square stopped.

FLOOR (F)

- F01 CARPET OVERLAY OVER INTERIOR DRY DRESSED FLOORING**
Selected carpet as owner's preference over Selected type B 19mm @600 max. flooring comply with NZS 3604:2011 or 20 mm HD particle board flooring.
- F02 VINYL/LAMINATED TIMBER FLOORING.**
Selected vinyl or laminated timber flooring as per owner's preference.
- F03 INTERIOR FLOOR TILES. (WET AREAS).**
Selected floor tiles over Mapei Mapegum WPS wet area membrane (installed by Mapei NZ Ltd approved applicator) over James Hardie Tile&Slate underlay over 17mm H3.2 plywood flooring with blocking @400 Crs.
- F04 INTERIOR CONCRETE FLOOR SLAB-RIBRAFT SLAB**
90mm thick concrete floor topping slab with SE72 mesh on 40mm mesh chairs. Polystyrene Pads shall be minimum class L to as 1366 Parts3 placed on 0.25mm DPC on Max.50mm thick screed level gap7 extending 600mm past building line Refer engineer's drawings for details.



IF PIPED GAS NOT SUPPLY, TWO NEW 45KG GAS BOTTLES TO BE INSTALLED. PROPOSED CONCRETE FOOT PAD TO BE CONSTRUCTED ON SITE TO PROVIDE A FIRM, LEVEL BASE. CHECK DIMENSIONS ON SITE BEFORE WORK START. USING CHAINS OR BRACKETS FASTEN THE BOTTLES TO THE WALL TO PROVIDE SEISMIC RESTRAINTS

RINNAI INFINITY CONTINUOUS FLOW GAS HOT WATER SYSTEM

GROUND FLOOR PLAN

1 : 100

1 AD201

Auckland Council
18.02.2021
BCO10320893
APPROVED
BUILDING CONSENT PLANS

RECEIVED
17 Feb 21
Auckland Council



SPECIFICATION NOTE:
ALL WORK TO COMPLY WITH THE NZ BUILDING CODE AND RELATED DOCUMENTS.
ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH NZS 3604, 2011.

REV	DESCRIPTION	DATE

FORREST STONE
Architecture & Design
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PROJECT
65 Clarks Beach Road PUKEKOHE

DRAWING TITLE
GROUND FLOOR PLAN

CLIENT REFERENCE
STONEX HOMES LTD

SCALE	As indicated@A3
DATE	2021/2/17 16:01:02
DRAWN	CPIAW
CHECKED	RB
SHEET	REVISION

AD105

TOTAL HOUSE AREA: 188m2

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